



Dŵr Cymru  
Welsh Water

# Single Property – Proposed Lateral Drain Adoption

Guidance Notes



If you're building a new home or development, you probably want to connect to one of our sewerage pipes so that we can take away your wastewater to treat, clean and return to the environment.

If our sewer lies outside the boundary of your new property, you'll need to build what is called a 'lateral drain', which will connect your property to our sewer.

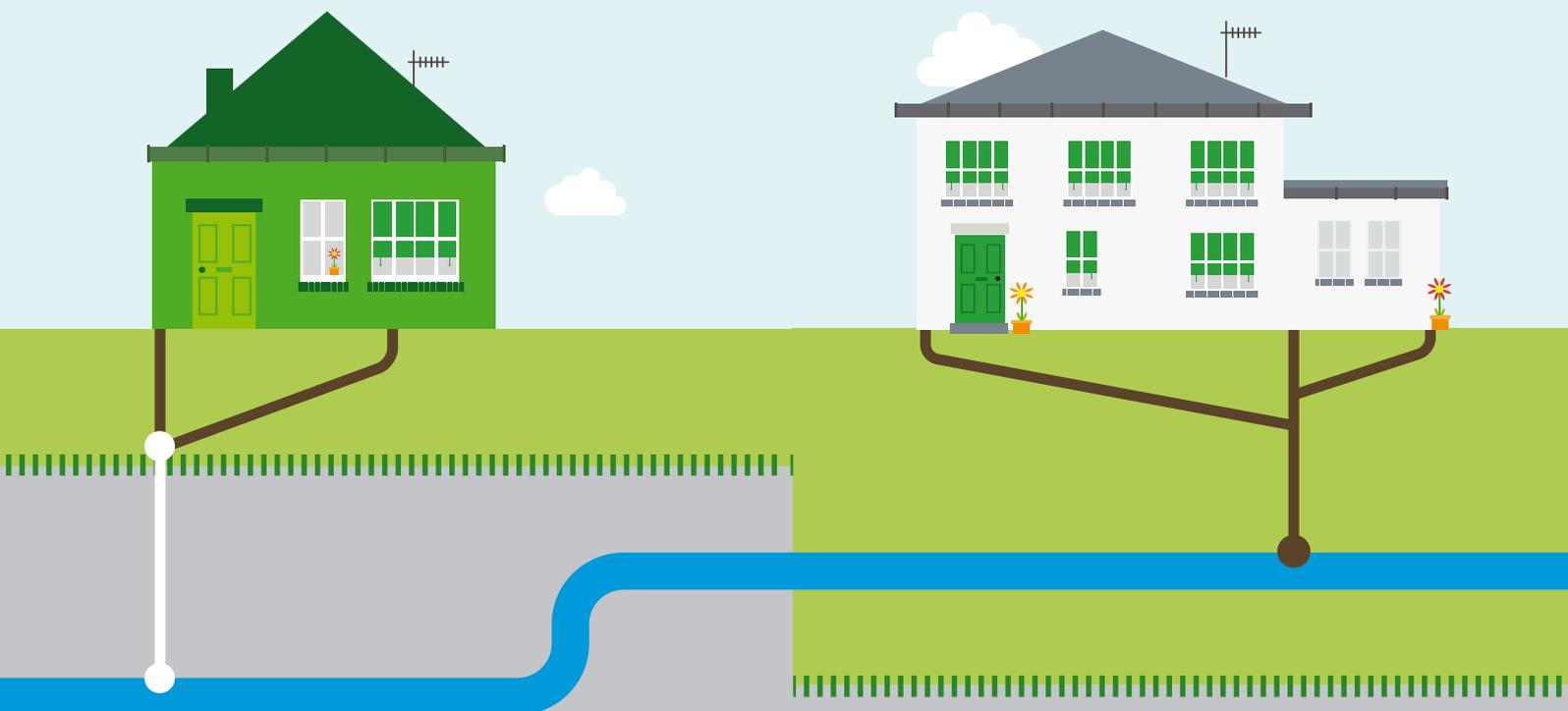
### What is a lateral drain?

A lateral drain is the part of the drain which will lie outside the boundary of the new property you are building and connect to our sewer. In some cases it might be located under someone else's land or even in a road.

If you are looking to build a lateral drain to connect to a public sewer which is located outside of your new property boundary, you must always apply for a Section 104 Adoption Agreement with Welsh Water, before any work begins.

The diagrams below will help you to determine if you need to apply for an Adoption Agreement.

There is a difference between whether you need to apply for an S104 agreement for foul and surface water, please find further information on this on page 4 of this leaflet.



- Private drain (Property owner responsibility)
- Lateral drain and demarcation chamber—S104 Adoption
- Public sewer
- Property boundary



## What is a Section 104 Adoption Agreement and why do I need one?

The Water Industry Act sets out the legislation which regulates new sewer connections. The Act does not allow any new connections to a public sewer without an Adoption Agreement in place.

When you apply for a S104 Adoption Agreement, this allows Welsh Water to 'adopt' the part of your pipe that runs from the boundary of your property to our sewer (the lateral drain). We'll then be responsible for any future maintenance of that part of the pipe.

The need for an Adoption Agreement applies across all of Welsh Water's operational area, which includes areas within England. This means that if you pay Welsh Water for your sewerage services, or if your property sits within the area Welsh Water serve, you may need an Adoption Agreement when it comes to connecting a new property to our system.

If you're connecting to a sewer which lies within the boundary of your property, you won't need to build a lateral drain and an Adoption Agreement will not be needed.



## How do I apply for a S104 Adoption Agreement?

There are two ways you can apply for an Adoption Agreement:

### Option One—Request an Application pack on our website

Visit [developers.dwrcymru.com/](https://developers.dwrcymru.com/) where you'll find an application request form. Once you've submitted this form, we will send you full details of the process – tailored to your development needs. Alternatively you can request an application pack over the phone by calling **0800 917 2652**.

### Option Two—Send us the information we need

You can move straight to the application process by submitting the details set out within this document. In order for us to check that your proposals meet the appropriate standard, we require you to submit **all** of the information outlined on page 4 of this document.

### SAB changes to surface water adoption

On 7th January 2019, the Welsh Government introduced Schedule 3 of the Flood and Water Management Act 2010. From this date all new development of more than one building and/or where the construction area is 100m<sup>2</sup> or more, will require sustainable drainage systems (SuDS) for surface water and the consent of the SuDS Approval Body (SAB). **This change is only applicable in Wales.**

Please check to establish whether your development will require SAB consent. If it does, the SuDS must be designed and built in accordance with Statutory SuDS Standards published by Welsh Ministers. SuDS schemes must be approved by the SAB before construction work begins, the SAB is probably the local authority for the area where you are building and they are best placed to provide you with further advice.

If your proposal does not require SAB consent and you plan to connect to a public sewer, we must adopt both your lateral drains, our adoption of the surface water lateral drain is optional if SAB consent is required.

You will still need to apply for consent to connect to a public sewer. Also, these changes do not influence the mandatory foul sewer adoption provisions which remain in place throughout our operating area.



## What information does Welsh Water need to assess my application?

We require the following information relating to your proposed development. Please note, it is important that you provide all of the necessary information with your first submission. This speeds up the assessment process and avoids the need for multiple design re-submissions.

### 1. Development Location / Site Layout Plan

- Your plan must include a north point and details which enable the location of the land to be easily identified e.g street names, adjacent properties etc
- Your plan must include all adoptable assets, coloured as follows:
  - Foul lateral drain (brown)
  - Surface Water lateral drain (blue)
  - Rising Main (outlet from private pumping station) if applicable (orange)
  - Development Boundary (green)
  - Offsite Easement (only required if the lateral drain is in private land) (yellow)

The plan on page 8 and 9 (Appendix 1 and 2) provides an example of a layout plan which incorporates all of the necessary information to enable it to be included within a S104 Adoption Agreement. Please refer to this when submitting your own plan.

You may wish to request the help of your architect or builder to complete these drawings.

### 2. Construction Details

The design of the adoptable Foul Lateral Drains must comply with The Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains. These can be found on the Welsh Government website [www.gov.wales](http://www.gov.wales)

If we are adopting, the design of the adoptable Surface Water Lateral Drain must comply with the design guide 'Sewers for Adoption 7th Edition. If not please refer to the SAB. You can find this on our website or on the Sewers for Adoption website [www.sfa.wrcplc.co.uk](http://www.sfa.wrcplc.co.uk)

Both of these documents include examples that will help you to understand the construction details you must use.

### 3. Connection Detail

You must demonstrate how you plan to connect to the existing public sewer i.e what is your mode of connection? An example of a manhole connection plan can be seen on page 10 (Appendix 3).

### 4. Copies of any relevant consents

These can include:

- Consent to discharge surface water to a watercourse
- Town and Country Planning Approval, if in place
- If the lateral is located in private land, we will require details of the land owner to formalise the easement.

### 5. Cost Estimate

This is an estimated cost of the proportion of work which is included within the Adoption Agreement (i.e the cost of the lateral drain)

### 6. Anticipated start date

The date when you intend to start work on installing the lateral drain. Please note, this needs to be a reasonable time period, taking into account the time needed to set up an Adoption Agreement. We recommend you leave at least four weeks from the time of application to your anticipated start date.

Please send all information relating to your application to [developer.services@dwrcymru.com](mailto:developer.services@dwrcymru.com)



## Once I've submitted my application, what will happen next?

Once you've provided us with all of the information we need, we can assess your application.

### We'll provide you with a dedicated Project Engineer, within our team

We will give you a direct contact within our Developer Services team—a Project Engineer who will guide you through the application process. Your Project Engineer will either approve your application or advise you of any amendments you need to make.

At this stage you will also be given a unique reference number. Please quote this reference number if you make any additional submissions or if you contact us in relation to your application.

### We'll issue Technical Approval

Once we are satisfied with your proposals we will issue technical approval of the design and request further copies of your drawings. At this point we'll also need to take payment for the technical vetting/supervision fee, please see "how much does it cost" section for details of our fees.

Once we receive these, we can instruct our legal team to prepare an Adoption Agreement.

Please be reminded, a S104 Adoption Agreement cannot be entered into once the sewers and lateral drains have been already been installed.

**An agreement must be in place before the construction of the lateral drain begins.**

## What happens once the agreement is in place?

### You'll receive confirmation

You will receive written confirmation when your Adoption Agreement is in place, to let you know that you can begin installing your lateral drain.

### We'll need to inspect the work

Following completion of the work and once all inspections have been undertaken, providing no issues are found, the lateral drain will be vested by us. We will provide you with written confirmation of this.

A three month defects liability period will commence, during which time you will remain responsible for any defects which may arise within the network. At the end of this period we will undertake a final inspection to ensure that the system remains in an acceptable condition.

Once the final inspection has been undertaken and we've confirmed that the work is acceptable, we will return any surety which is held by us, to you. We will then become responsible for maintaining the lateral drain serving the property.

### Connecting to the Sewer

Once your Adoption Agreement is in place, you'll need to apply to connect to the sewer. We will send you a Sewer Connection Application Form to help you complete this process.

You can not connect to a public sewer until you have received confirmation that your Adoption Agreement is in place and Sewer Connection has been approved.



## How much does it cost?

There are costs associated with the Lateral Adoption Agreement process.

### Technical Vetting and Supervision

As per the Developer Services Schedule of Charges which can be found on our website here: [developers.dwrcymru.com/help-advice/charges](https://developers.dwrcymru.com/help-advice/charges).

### Surety/Bond

You will be required to provide a surety, to ensure that monies are set aside that will guarantee completion of the works by us, should you fail to do so. This is based on 33% of the estimated cost of the adoptable drainage works (i.e. installing the lateral drain and demarcation chamber) or a minimum of £500.

We can consider a cash surety be provided for sums up to, but not greater than £5000. For all surety values in excess of £5000, surety must be provided by a suitable provider (e.g. an independent bank or financial institution). Please ensure a suitable surety provider is sourced and named within the enclosed S104 pro-forma. The surety will be returned when the Section 104 process is completed."

### Legal Costs

Legal fees for drafting the appropriate type of agreement and easements if applicable, and any associated Land Registry fees, are charged at cost. Costs are determined on a case by case basis during the technical vetting of the application.

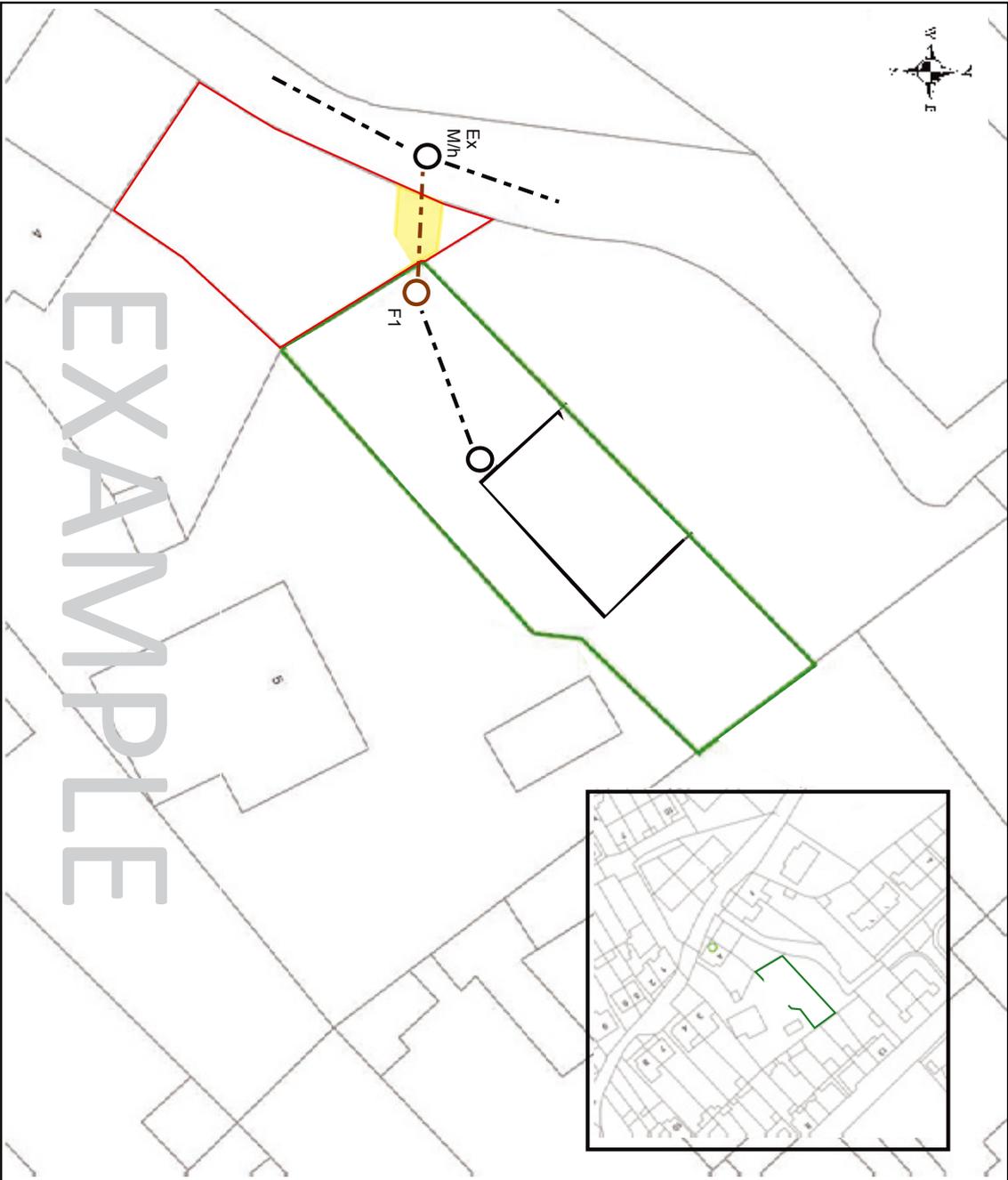
### Other Fees

Please note that you may face additional costs in some instances, for example, if a CCTV survey of the pipe work is needed or if additional information is required in support of your application. Your Project Engineer will be able to advise in these instances.

Further details of these fees can be found in our Developer Services Schedule of Charges document ([corporate.dwrcymru.com/en/library/our-charges/developer-services-schedule-of-charges](https://corporate.dwrcymru.com/en/library/our-charges/developer-services-schedule-of-charges)).



## Appendix 1 – easement required, lateral in 3rd party land.



EXAMPLE

Manhole Schedule				
M/H Ref	Invert Level	Cover Level	Chamber Type	Cover Type
F1	1.5	2.0	Type 4	D400
Ex	1.8	2.0	Existing	Existing

All adoptable drainage laid to a minimum gradient of 1:80.  
 Material: uPVC.  
 Pipe Diameter: 100mm.

**Notes:**

- The developer must self-verify and certify that the design criteria, material standards and workmanship specifications for the proposed adoptable sewers are in accordance with those set out in "Sewers for Adoption" 7th Edition, The Welsh Ministers Standards and the requirements of DCWW as the Statutory Sewerage Undertaker.
- Subject to a Section 104 Adoption Agreement being complete, a Section 106 application to connect must be made to DCWW, the developer shall give 21 days' notice prior to connection. The works may only be undertaken by a DCWW Health & Safety approved contractor.

Drawing Number: 000001/A

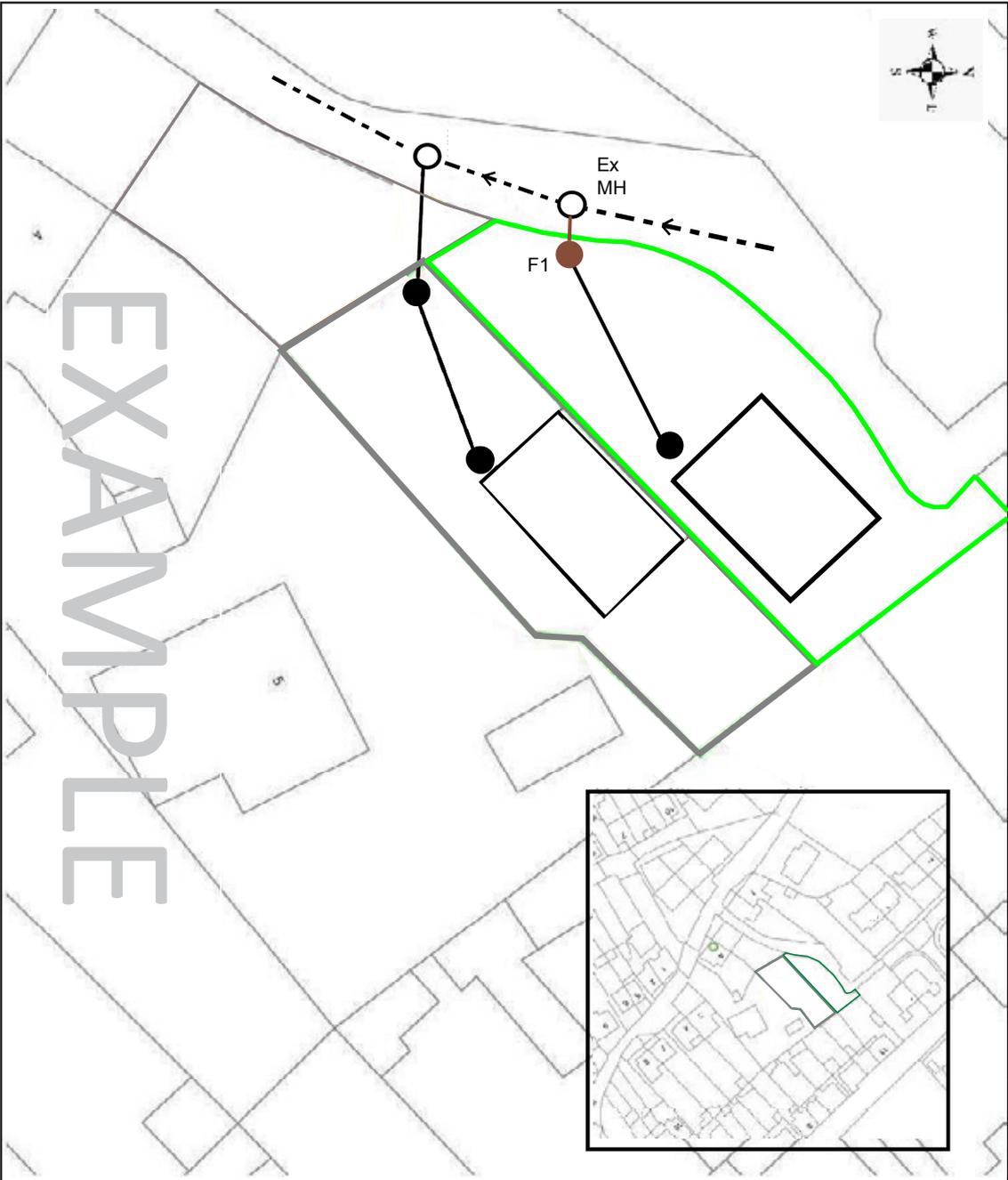
Proposed Section 104 Agreement

Example Lateral Scheme: Wales.

Date: N/A



## Appendix 2 – no easement require lateral guidance.



Manhole Schedule				
M/H Ref	Invert Level	Cover Level	Chamber Type	Cover Type
F1	1.5	2.0	Type 4	D400
Ex	1.8	2.0	Existing	Existing

All adoptable drainage laid to a minimum gradient of 1:80.  
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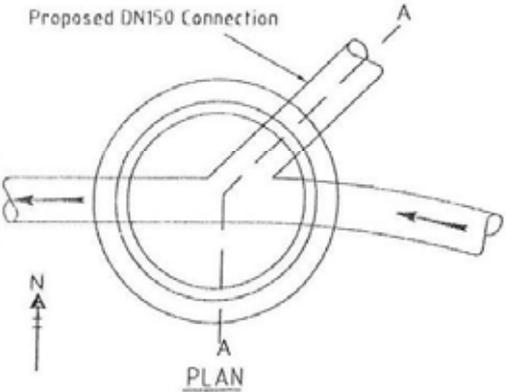
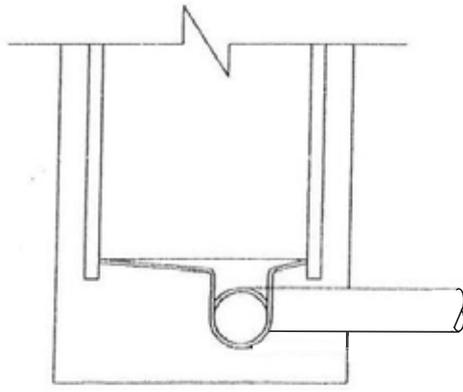
**Proposed Section 104 Agreement:**  
 Example Lateral Scheme: Wales.

Date: N/A



## Appendix 3 – Connection Detail

### Manhole Connection Plan

<b>S104 Application Reference:</b>	
<b><u>Plan</u></b>	<b><u>Section</u></b>
<b>Dwr Cymru Welsh Water Manhole Reference number (must be confirmed on site):</b>	
<b>Manhole Grid Reference (if known):</b>	
<i>Example Plan below:</i>	<i>Example Section Drawing below:</i>
 <p style="text-align: center;">Proposed DN150 Connection</p> <p style="text-align: center;">PLAN</p>	<p>Note: North Point <b>must</b> be shown on plan</p>  <p style="text-align: center;">SECTION A-A</p>

**NB:** The exact position and depth of the public sewer must be established on site. For assistance in determining the exact location of the public sewer please contact our Operations Department on 0800 085 3968.



## Contact Us:

We know the Lateral Adoption Agreement process can seem complicated, so we're always here to help.

### Call

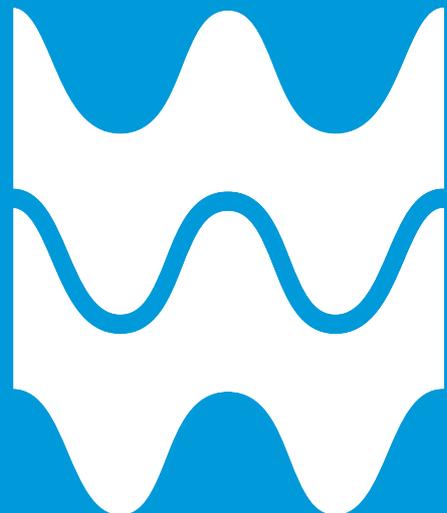
0800 917 2652

### Email

[developer.services@dwrcymru.com](mailto:developer.services@dwrcymru.com)

### Visit

[developers.dwrcymru.com](http://developers.dwrcymru.com)



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